



# Mobile Home Permits

## for permanently placed mobile homes

In Clark County, you will need to obtain permits and follow-up field inspections for the placement of a new or used mobile home. This brochure is intended to provide general information only, and will give you the information you will need to understand how the process works.

### How do I apply for a permit?

Call or visit our offices to pick up the appropriate permit submittal checklist. It is also available on our website. Since the checklist is generic, a staff member can highlight the items needed for your particular permit request.

Once you have gathered all the items required on your submittal checklist, visit the Permit Center to apply for your permit. You will be required to pay a plan review fee and other relevant fees to start the building permit process.

### What type of plans do I need?

Two sets of neat, clean complete plans are essential. Use black ink or a dark pencil. For most projects you'll need **two copies** of each of the following:

- Plot Plan
- Geotechnical report (if required)
- Engineered tie-down details (if required)

**Note:** If you are proposing to construct a freestanding garage or shop building of 800 square feet or less in conjunction with your mobile home placement, please review the county's residential Construction Guide, which, when completely filled out, can replace several pages of hand-drawn plans for your project!

### Will I need other permits too?

The permits you may need include septic tank, sewer/septic and water connection, road approach, over-legal, and electrical permit. The mobile home checklist pro-

vides the address and phone numbers of the external agencies you will need to work with to get all permits. Please pick up a copy of the permit checklist while you are here. You may want to talk to a Community Development Specialist to get an exact idea of the permits you will need for your particular situation. Wood stoves require separate permits. In some instances, environmental permits may also be required.

### Will I need an architect or engineer?

Normally, when a mobile home is placed according to the manufacturer's state-approved specifications, an architect or engineer is not required. However, if a mobile home is placed on a steep slope, within a 100-year flood plain, or over a basement, engineering by a Washington State architect or engineer may be required. For relocated mobile homes, follow either the manufacturer's anchoring instructions or those of a professional engineer or architect, licensed in the State of Washington, or follow the standards found in ANSI A225.1. Please contact a Plans Examiner or Building Inspector if you need more help.

### What is the cost?

The actual permit fees are normally less than \$200.00 plus any applicable impact fees.

### Can my application or permit expire?

Yes. Your application will expire if you do not pick up your permit within 180 days of the application date. Your approved permit will expire if you do not request and receive an approved inspection at least once every 180 days. You may be eligible for a one-time 180 day extension of your permit or application if you make a written request before the permit or application expires.

Community Development Permit Center  
1300 Franklin Street, Vancouver, Washington  
Phone: (360) 397-2375 Fax: (360) 397-6049  
Hours: M-T-Th-F 8:00 am to 4:30 pm  
Open at 10:00 am on Wednesday

Visit our web site at: [www.clark.wa.gov](http://www.clark.wa.gov)

Battle Ground Service Center  
701 E. Main Street, Battle Ground, Washington  
Phone: (360) 687-7126 Fax: (360) 759-5058  
Hours: M-T-Th-F 8:00 am to 4:00 pm  
Open at 10:30 am on Wednesday. Closed 12-! all days

Revised 9/2003

## Do I need a permit for an attached deck?

A separate building permit is not required for an attached deck to a mobile home when it is to be built in conjunction with the placement of the mobile home. Plot plans must show the location of the decks and/or stairs. Two sets of building plans for the deck are required at the time of permit application. Decks over 18 inches in height above the ground are required to comply with zoning setbacks for structures in your zoning district.

If you decide to construct a deck at a later time (separate from placement of the mobile), you will need a building permit if the value of the deck exceeds \$1,500. In any case, decks are to be built according to code.

## What is the difference between a mobile and a "travel trailer"?

According to Clark County Code, a "mobile or manufactured home" is a single family dwelling fabricated on a permanent chassis and is designed to be used for permanent human occupancy. The county code defines a travel trailer is any transportable trailer available for recreational use, rather than permanent occupancy. A mobile or manufactured home is labeled by the manufacturer as such, and the term mobile or manufactured home does not include travel trailers, camping vehicles, park trailers or similar vehicles. Only mobile or manufactured homes, as defined by the Clark County Code are eligible for a permanent mobile home placement permit. Travel trailers cannot be approved as permanent dwelling places.

## Will I need an "over-legal" permit?

If you intend to move your mobile home over any county and/or state roads, and the mobile is more than eight feet wide and the combination of mobile and towing vehicle is longer than 35 feet, you will need to get an over-legal permit prior to moving the mobile down the highway. You must make application for the mobile home placement permit prior to making application for the over-legal permit. Over-legal permits can be obtained during the hours of 7:00 to 4:00 weekdays at the county's Maintenance and Operations Center, Building "A", located at 4700 NE 78th Street, approximately two miles east on Interstate 5. The phone number is (360) 397-2446. The cost for an over-legal permit is \$25 per section of your mobile.

## Can I attach a garage or shop to my mobile home?

It may be possible to attach another structure to a mobile home with the proper permit approvals. However, you will need an approved permit for the county Building Division and approval from the Washington State Department of Labor and Industries (L&I).

The state L&I reviews and approves all new mobiles at the factory and must approve any change to the structure of a mobile home. Please review the mobile home checklist for the address and phone number of the local state L&I office.

## If you live in the city limits of Yacolt or Battle Ground, please read:

Clark County provides building permit services under contract to the residents of Yacolt and Battle Ground. If you live within the city limits of one of these cities, please visit your local city hall prior to making application at the county's permit center. At the time of application to the county, you will need to provide us with a letter of approval from your city. In addition, any proposal involving the construction of a new building, or changes to the dimensions of an existing building must be accompanied by two copies of a city-approved plot plan.

City hall locations:

### City of Yacolt

105 East Yacolt Road, Yacolt

Phone: (360) 686-3922

Open weekdays: 8:00 to 12:00 and 1:00 to 5:00

### City of Battle Ground

302 East Main, Battle Ground

Phone: (360) 342-5000

Open weekdays: 8:00 to 5:00

## What inspections should I expect?

The following inspections are required for mobile home placements and more than one inspection may occur when the building inspector visits your site:

**Reinforcing steel in spread footings.** In cases where the manufacturer requires steel in spread footings, we need to inspect the steel placement prior to pouring concrete.

**Zoning setbacks.** This should occur after the mobile has been placed on the site.

**Water and sewer/septic installation.** This inspection should be requested after the water/septic lines have been placed in ditches, but before covering and before the mobile skirting has been installed.

**Support blocking.** This inspection should be requested after the mobile has been placed, but before the installation of skirting.

**Tie-downs.** This inspection should be requested before skirting is installed.

**Gas Piping.** This inspection should be requested after the installer or other professional has pressurized the system to at least 10 psi for a minimum of 15 minutes and installed a pressure gauge. Any reading of less than 10 psi on the pressure gauge will result in the disapproval of the inspection.

**Skirting.** This inspection is one of the last inspection and should be requested after the above inspections have been approved.

**Foundation ventilation.** This inspection may be requested after skirting has been installed.

**Decks, stairs and railing.** This inspection should be requested anytime prior to final inspection. All exterior doors shall have decks/landing per code.

**Final inspection.** This inspection should be requested after all work is finished, including decks and steps. All plumbing and mechanical systems shall be operable and then the mobile should be ready for occupancy.

If any inspection cannot be approved a written Correction Notice will always be left by the inspector. Please make the corrections and call again to schedule a re-inspection.

## How do I request an inspection?

Once your permit has been approved and you've reached the point where you need an inspection, just call the IVR Inspection Request line at

(360) 397-2477. Please have your information ready when you call. You will need your case number, the three digit code for the inspection you are requesting (found on your inspection card), and a pen and paper to record your confirmation number.

Make sure your approved permit is posted in a prominent location on the job site on the day of the inspection.

## Have you visited our Battle Ground office yet?

Tired of driving all the way to downtown Vancouver and trying to find a parking place at our downtown office? Now you can apply for and pick up all types of building and planning permits at our satellite office, located in the North Clark County Resource Center in downtown Battle Ground. There is free parking at the rear of the building.

The address is:

**North Clark County Resource Center**

701 East Main, Battle Ground

Phone: (360) 687-7126

Open M-T-Th-F 8:00 to 12:00 and 1:00 to 4:00

Wednesday 10:00 to 12:00 and 1:00 to 4:00

Please ask a staff member for a map.

# Other permits you might need:

## Sewer Connection Permit

Different sewer providers and jurisdictions in Clark County have unique requirements to obtain a sewer connection permit. In addition, sewer connection fees are established by each agency so the fees vary. In most cases, mobile placed in existing mobile home parks will not need to provide an application for a sewer permit. Here is a list of sewer providers along with addresses and phone numbers. If you need help determining the identity of your provider, please contact a Community Development Specialist.

### City of Camas

City Hall

605 NE Fourth Avenue, Camas, WA 98607

Phone: (360) 834-8860

If the City of Camas will be providing your site with sewage disposal, you must provide us with a copy of your application for a Sewer Permit from the city of Camas.

### Hazel Dell Sewer District

8000 NE 52nd Court, Vancouver WA 98665

Phone: (360) 750-5876

If the Hazel Dell Sewer District will be providing your site with sewage disposal, you must get your sewer connection application, pay applicable fees, and obtain the necessary follow-up field inspection form Hazel Dell Sewer.

### City of Vancouver

Citizen's Service Center

1313 Main Street, Vancouver WA 98660

Phone: (360) 696-8101

If the city of Vancouver will be providing you with sewage disposal, you will need to pay all applicable connection fees to the city of Vancouver prior to issuance of a county sewer permit.

### City of Washougal

1701 C Street, Washougal WA 98671

Phone: (360) 835-8501

If the city of Washougal will be providing your site with sewage disposal, you must get your application, pay applicable fees, and obtain the necessary follow-up field inspections from the city of Washougal.

## Septic Tank Permit

**If this permit request is for a new mobile home placement** and you will be installing a septic tank system, you must get a septic tank permit from the Clark County Health Department prior to getting approval of your permit.

**If the job does not include installation of a septic tank**, you must provide us with verification from the Clark County Health Department that the existing system is adequate.

The Clark County Health Department is located across the street from Clark College at 1950 Fort Vancouver Way, Vancouver. Office hours are 8:00 to 4:30 weekdays. The phone number is (360) 696-8428.

## Woodstove Permit

### Road Approach Permits

If your driveway will connect directly to a public roadway, you must have written permission in the form of an approved road approach permit in order to do so. Road approach permits are necessary to insure that your access meets requirements for sight distance, intersection spacing, and culvert construction (if applicable).

In order to make application for a road approach permit, you will need a plot plan showing the proposed driveway location and an address or accurate location for the site. Requirements for state-approved road approach permits may differ from county-approved road approach permits.

#### For access onto county road:

Clark County Community Development  
1300 Franklin Street  
Vancouver WA 98660  
(360) 397-2375

**Note:** If you need a road approach for access onto a county road, it will be automatically added to your permit application by staff.

#### For access onto state highways:

Washington Department of Transportation  
4200 Main Street  
Vancouver WA 98660  
(360) 696-6243

If your driveway enters onto a private road, you will not need a road approach permit from Clark County, although you will need to show proof that you have the legal right to use the easement.

### Electrical Permits and Inspections

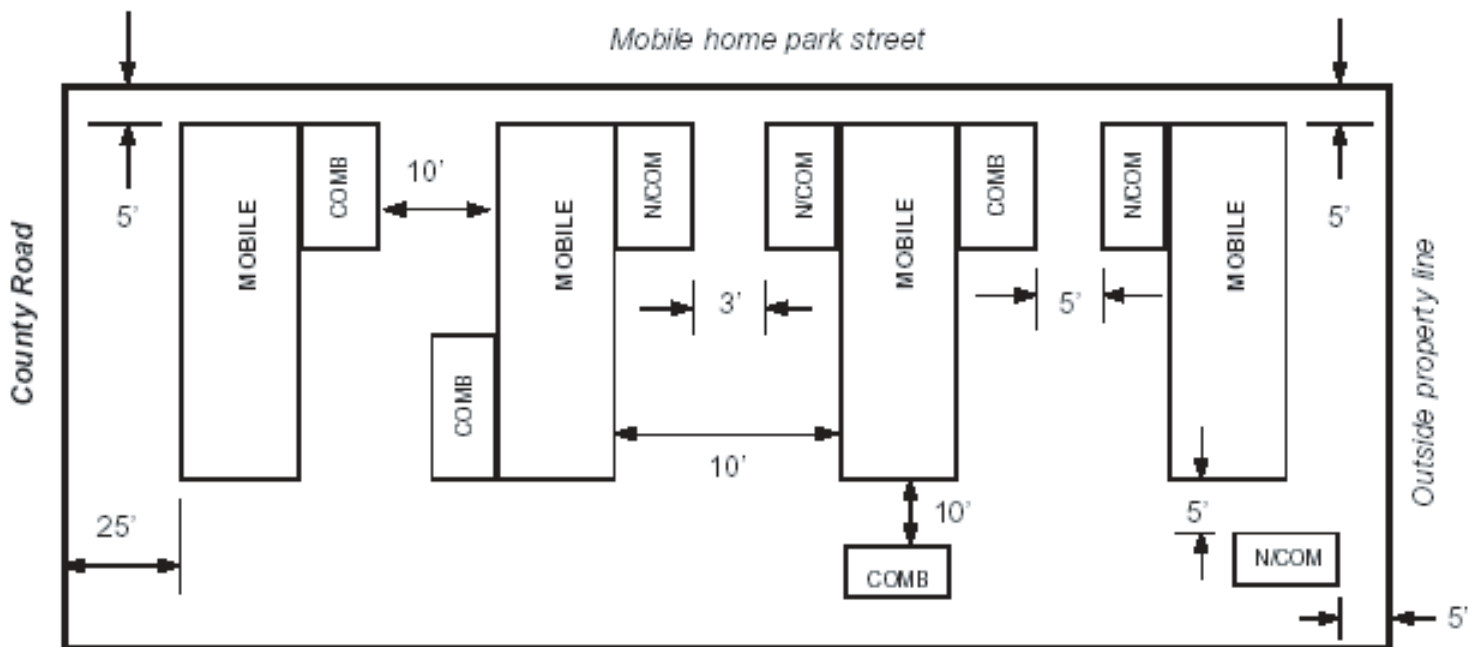
The Washington State Department of Labor and Industries, Electrical Division is responsible for issuing electrical permits and performing follow-up field inspections in unincorporated Clark County and the cities of Battle Ground, Yacolt and La Center.

Department of Labor and Industries  
312 SE Stonemill Drive, Suite 120  
Vancouver WA 98684  
(Cascade Park Area)  
(360) 896-2360

## Setback requirements for mobile home parks

If you are placing your mobile in a mobile home park, setback distances to property lines and other structures could be different than the setback standards on a single lot of a parcel in the country. In order for us to determine whether or not your mobile will comply with mobile home park setback standards, you will need to provide the following information on your plot plans:

1. A north indicator arrow.
2. The park street or walkway and the distance from the park street or walkway to the nearest edge of the mobile home.
3. The distance between the proposed mobile home and existing mobiles and other structures (such as carports and storage sheds) on neighboring lots. State on the plot plan whether the neighboring buildings are combustible (such as a wood frame building) or non-combustible (such as a metal building).
4. If your lot abuts a county road, you will need to show the distance between the nearest edge of the mobile and the center line of the county road. Please include the distance from the mobile to the park property lines as well.
5. If you are placing the mobile on a perimeter lot, please show the distance from the park property line to the nearest edge of the mobile home.
6. Make sure your plot plans are drawn to scale and indicate the scale on the plot plan.



Legend:

COMB - combustible accessory structure

N/COM - non-combustible accessory

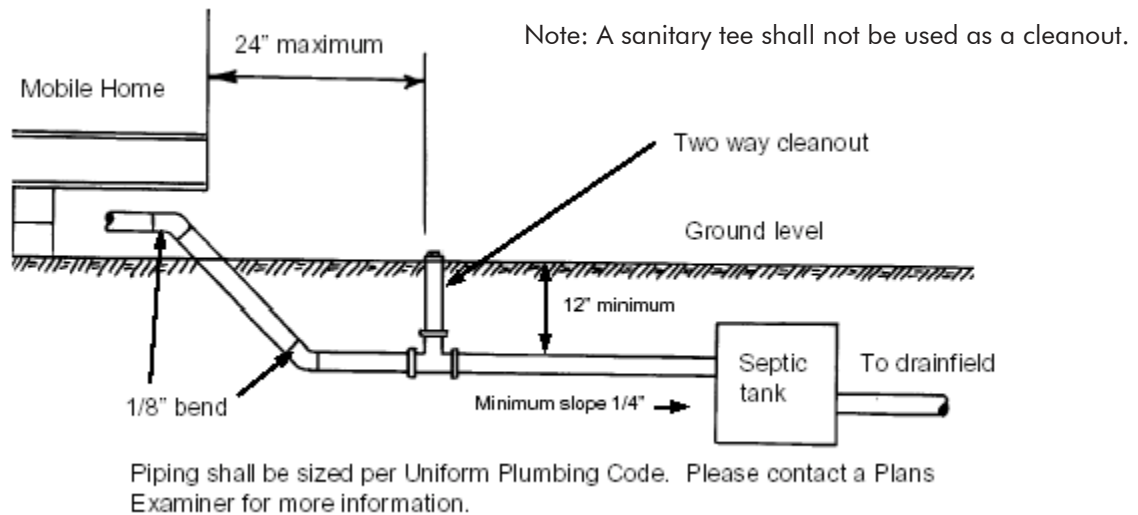


## Notes:

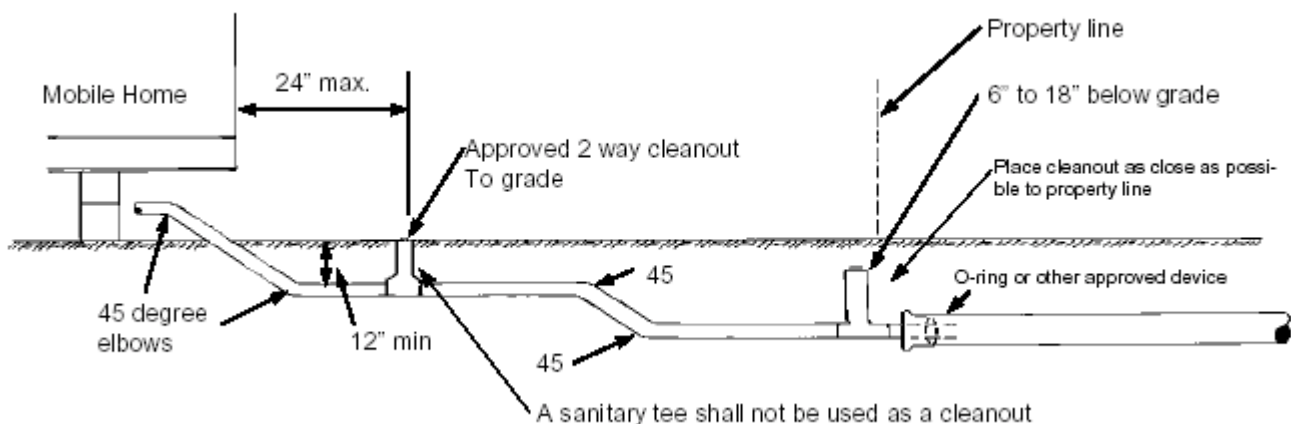
1. Separations are measured wall to wall, post to wall and post to post.
2. Stairs and decks less than 18 inches in height are not required to meet setback distances
3. One foot maximum roof projection into required setback areas is allowable.
4. For those situation where an existing legally placed mobile home does not meet current setback situations shown here, you may replace the old mobile with a new mobile of the exact same size in the exact same location as long as the replacement does not cause greater encroachment into the required setback areas.
5. There is no setback requirement between a carport and the mobile home on the same lot.

	Combustible Buildings (Mobile Homes)	Non-combustible buildings	1-hour wall (no openings)	Stairs and decks (without roofs)	Porch, stairs and decks (with combustible roof)	Porch, stairs and decks (with non-combustible roof)	Combustible awnings	Non-combustible awnings
Combustible Buildings (mobile homes)	10	5	5	5	10	5	10	5
Non-combustible buildings	5	3	3	3	5	3	5	3
1-Hour wall (no openings)	5	3	3	3	5	3	5	3
Stairs & decks (without roofs)	5	3	3	3	3	3	5	3
Porch, stairs & decks (w/ combustible)	10	5	5	5	10	5	10	5
Porch, stairs & decks (non-combustible)	5	3	3	3	3	3	5	3
Mobile Home Park property line and street	5	5		5	5	5	5	5
Property line at public street	25	25		25	25	25	25	25

## Typical Septic Plumbing



## Typical Sewer Service Installation (for jobs inspected by Clark County)



### Notes:

- A There are special requirements for piping installed under a concrete slab. Contact the county Building Division for more information if you are installing piping under a slab.
- B A sanitary tee shall not be used as a cleanout.
- C Place cleanout as close as possible to property line.

### Minimum sewer pipe diameter by sewer provider:

Clark Public Utilities	4"
Hazel Dell Sewer District	4"
City of Battle Ground	4"
City of Ridgefield	3"
City of Vancouver	3"
City of Camas	3"
Private septic system	3"



## Typical Water Service Installation

The diagram below illustrates the required elements and minimum distances for a water service installation conforming to the Uniform Plumbing Code which has been adopted by Clark County.

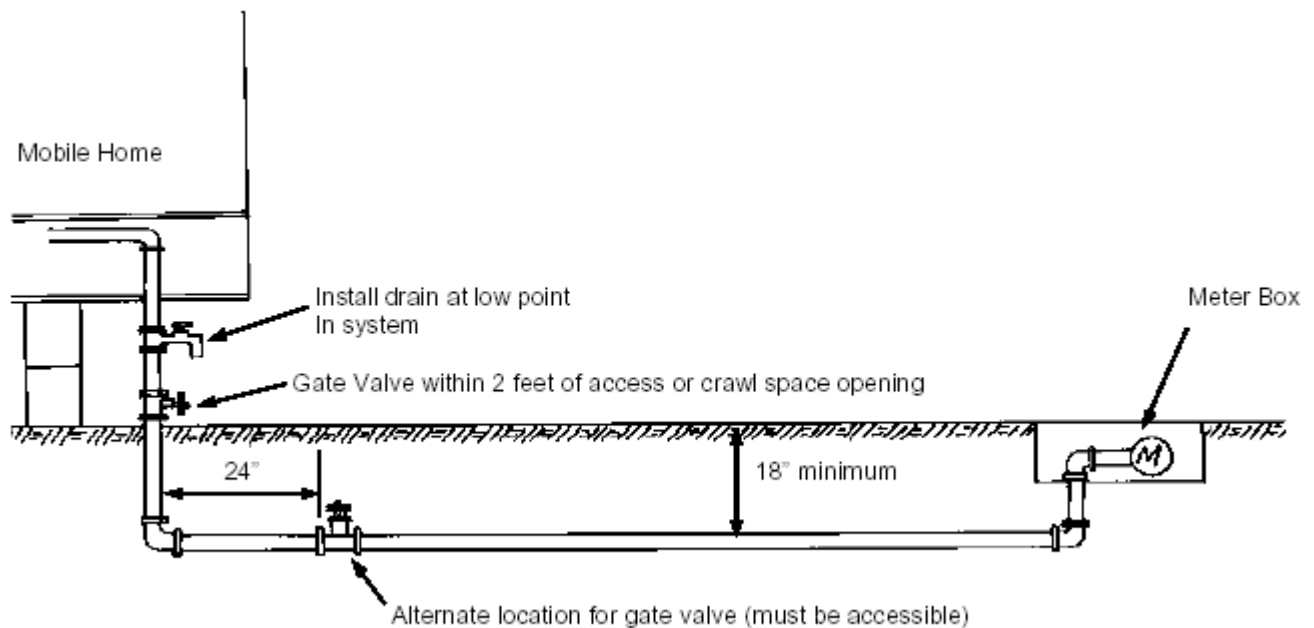
### Use only approved water pipe materials:

Materials for water service may be the same as approved materials used within the building. Typical water service material is PVC schedule 40 or polyethylene 160 PSI or higher. For approved materials, contact the Building Division or supplier.

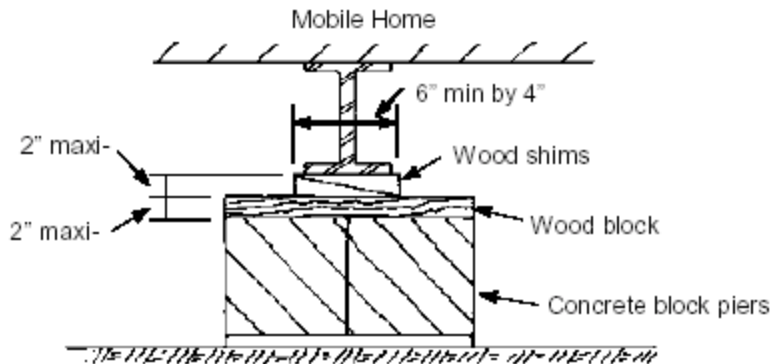
### Note:

There are special requirements for piping installed under a concrete slab. Contact the county Building Division for more information if you are installing piping under a slab.

Plastic water piping may terminate within a building, provided the connection to the potable water distribution system shall be made as near as is practical to the point of entry and shall be accessible. Barbed insert fittings with hose clamps are prohibited within the building.



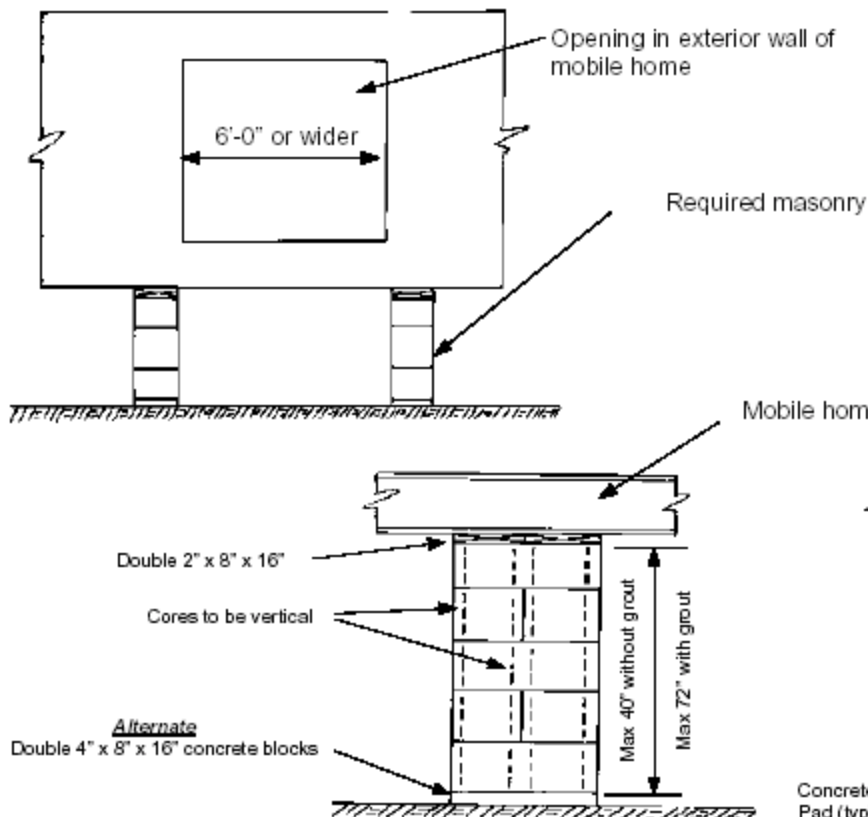
## Plate and shim requirements



### Note:

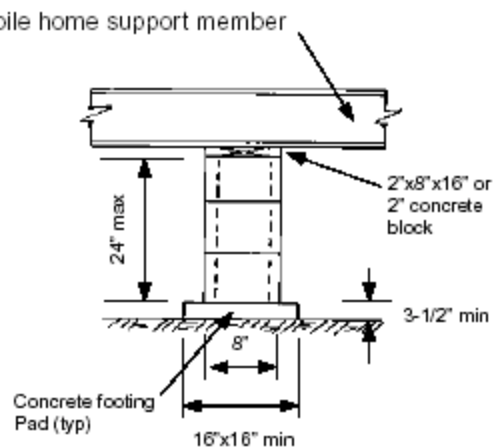
Per code, approved mobile homes shall have tie downs engineered by an architect or engineer licensed in the State of Washington or the tie downs must meet standards found in ANSI A 225.1.

## Allowable pier configuration

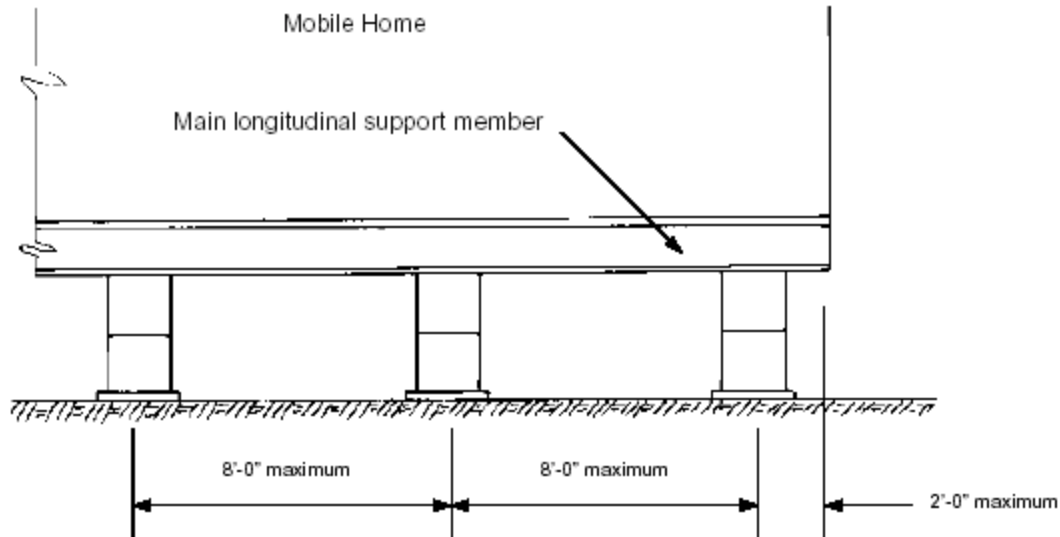


### Note:

1. Maximum double block height without grout is 5 blocks and 9 blocks with grout.
2. Maximum single block pier height is 3 blocks.
3. Any mobile home with a single pier over 72" in height or having 20% of the piers exceed 40" high, must have approval by a licensed engineer or architect.
4. Grout must be concrete or mortar with a minimum 28-day strength of 2000 PSI.



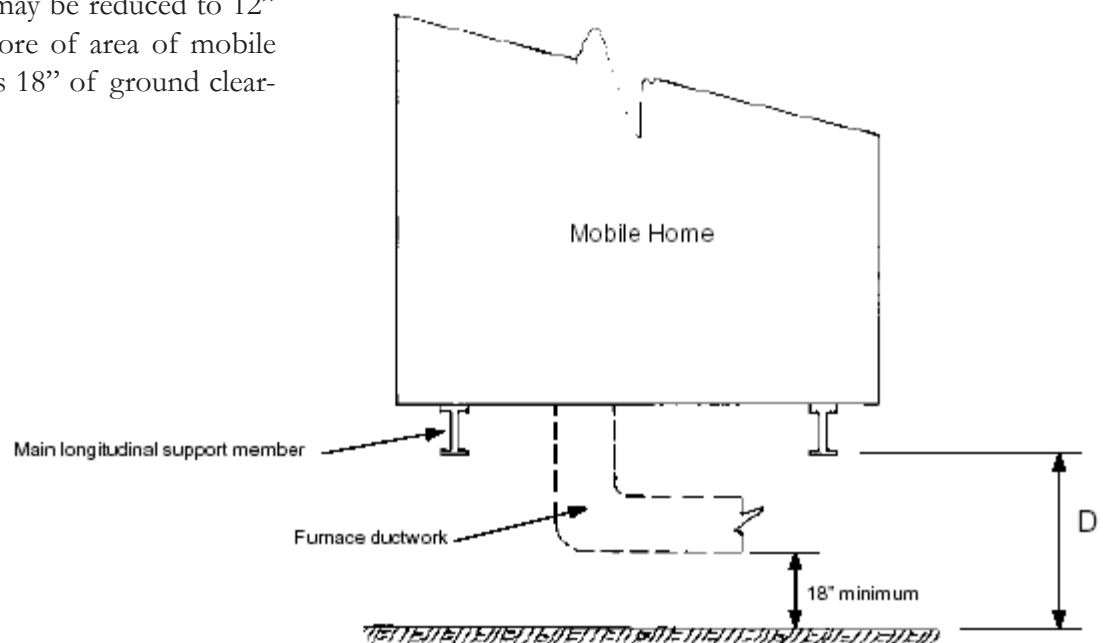
## Maximum allowable pier spacing



## Allowable ground clearance

### Note:

D=18" minimum but may be reduced to 12" clearance if 75% or more of area of mobile home equals or exceeds 18" of ground clearance.



## Typical Decks, Stairs, and Railings detail

### Note:

All exterior decks exposed to the weather must utilize weather resistant wood such as cedar, redwood, mahogany, or pressure treated wood in accordance with Uniform Building Code Section 23.06.12.

